



## 132a Flixton Road Urmston Manchester M41 5BG

### Offers over £430,000

VIRTUAL VIEWING! HOME ESTATE AGENTS are proud to offer for sale this much loved two double bedroom detached true bungalow situated in the heart of Urmston town centre. Being sold with no vendor chain & occupying a large plot this spacious bungalow must be viewed to be fully appreciated. In brief the accommodation comprises welcoming hallway, 22ft bay fronted lounge, 'eat in' kitchen, utility room, inner hallway, the two double bedrooms & a three piece shower room. the property is warmed by gas central heating & is uPVC double glazed. Externally there is an impressive resin driveway accessed via wrought iron gates which provides ample off road parking. The driveway continues to the side providing further parking which leads to the detached brick tandem garage. The rear garden is a real treat & is a credit to our clients. Boasting a mainly lawned garden, resin patio, mature beds & is fenced for privacy. Ideally placed to enjoy the ever growing amenities of the area & transport links. To book your viewing call the team at HOME.

- No vendor chain
- 'Eat in' kitchen
- Utility room
- Town centre location
- Two bedroom detached bungalow
- Shower room
- Large, impressive driveway
- Spacious lounge
- Generous gardens
- Detached tandem garage



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### Hallway

uPVC double glazed door to the front, coved ceiling and radiator.

### Lounge 11'11" x 22'9" (3.64m x 6.95m )

uPVC double glazed bay window to the front and two uPVC double glazed windows to the side. Feature fire surround, marble back and hearth housing a living flame gas fire. Wall lights, coved ceiling and radiator.

### 'Eat in' kitchen 12'7" x 12'6" (3.84m x 3.82m )

uPVC double glazed window to the side and uPVC double glazed door leading to the side. A range of fitted wall and base units with a rolled edged worktop over. Fitted display wall units. Incorporating a single unit sink with mixer tap. Integrated hob, double oven and extractor fan. Space for other appliances. uPVC ceiling with spotlights. Splash tiling, wooden effect floor and radiator.

### Utility room 6'1" x 6'4" (1.86m x 1.95m )

### Inner hallway

Loft access with electric controlled ladders and fitted storage cupboard. The loft offers potential for conversion and is fully boarded.

### Bedroom one 11'11" x 14'4" (3.64m x 4.37m )

uPVC double glazed window to the rear, coved ceiling and radiator. A range of built in wardrobes with ample hanging and shelving space. Fitted headboard and overhead storage.

### Bedroom two 12'6" x 10'4" (3.82m x 3.15m )

uPVC double glazed window to the rear, coved ceiling and radiator. A range of built in wardrobes with ample hanging and shelving space.

### Shower room

uPVC double glazed window to the side. A three piece suite comprises low level WC, wash hand basin and shower cubicle. Tiling to compliment, wooden effect floor, uPVC ceiling and extractor fan. Ladder radiator.

### Externally

Externally there is an impressive resin driveway accessed via wrought iron gates which provides ample off road parking. The driveway continues to the side providing further parking which leads to the detached brick tandem garage. The rear garden is a real treat and is a credit to our clients. Boasting a mainly lawned garden, resin patio, mature beds and is fenced for privacy

### Detached garage

A detached brick tandem garage with electronic up and over door to the front. Power and lighting.

### Tenure

The property is freehold.

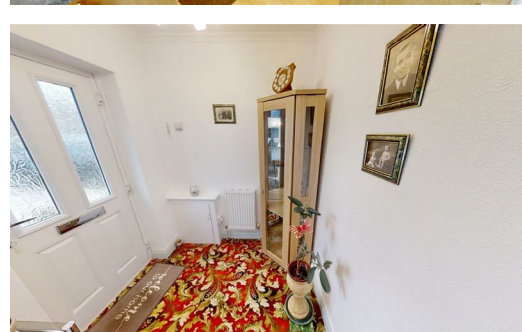
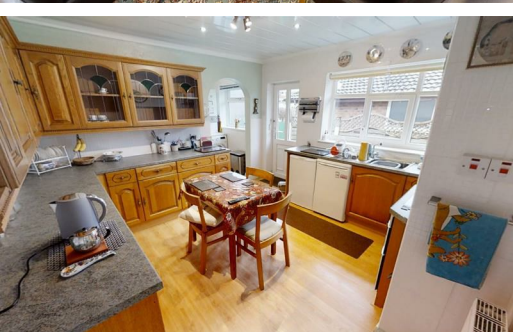
### Council

The property is council tax band D.

### Property disclaimer

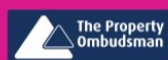
PLEASE NOTE: Home Estate Agents have

not tested the services and appliances described within this document (including central heating systems), and advise purchasers to have such items tested to their own satisfaction by a specialist. All sizes quoted are approximate. Making an offer: if you are interested in this property, please contact us at the earliest opportunity prior to contacting a bank, building society or solicitor. Failure to do so could result in the property being sold elsewhere and could result in you incurring unnecessary costs such as survey or legal fees. Most of our clients require us to advise them on the status of potential buyers, who make an offer to purchase, therefore you are strongly advised to make an appointment at this stage.



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Registered Address Vantage House, East Terrace Business Park, Euxton Lane, Euxton PR7 6TB - England  
Company Registration numbers Monton - 9262084 Urmston - 04331861 Stretford - 08259553





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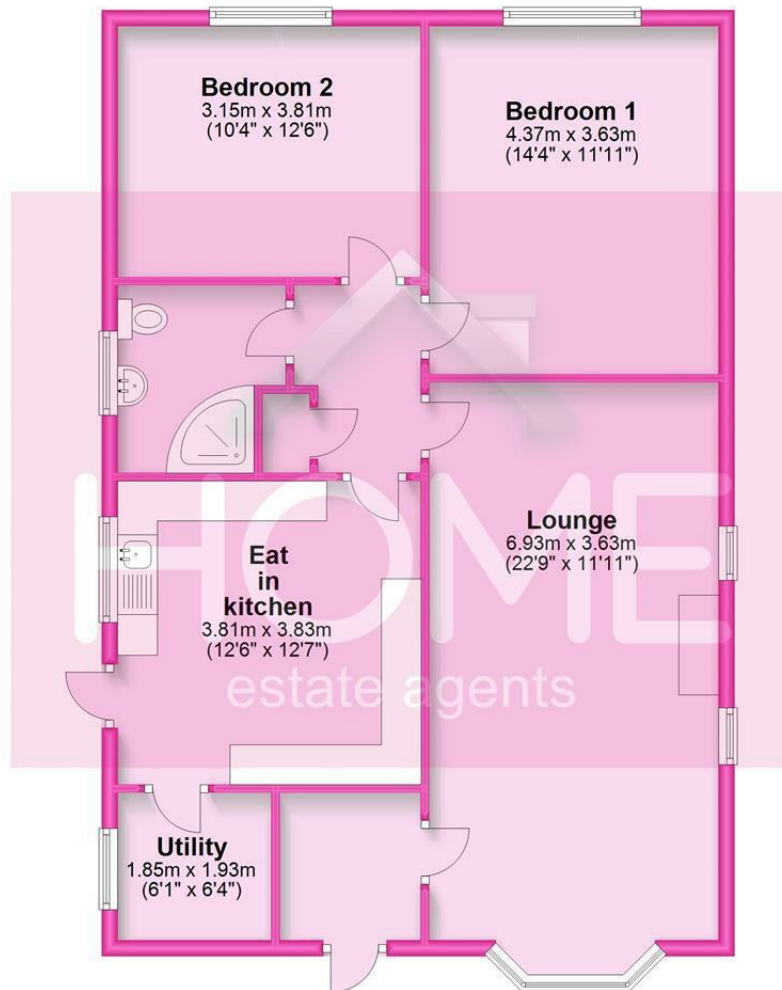
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## Ground Floor

Approx. 87.1 sq. metres (937.5 sq. feet)



Total area: approx. 87.1 sq. metres (937.5 sq. feet)

Energy Efficiency Rating		
	Current	Potential
Very energy efficient - lower running costs		
(92 plus) <b>A</b>		
(81-91) <b>B</b>		
(69-80) <b>C</b>		
(55-68) <b>D</b>		
(39-54) <b>E</b>		
(21-38) <b>F</b>		
(1-20) <b>G</b>		
Not energy efficient - higher running costs		
<b>England &amp; Wales</b>	EU Directive 2002/91/EC	

Environmental Impact (CO <sub>2</sub> ) Rating		
	Current	Potential
Very environmentally friendly - lower CO <sub>2</sub> emissions		
(92 plus) <b>A</b>		
(81-91) <b>B</b>		
(69-80) <b>C</b>		
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